



AGENDA

DESIGN REVIEW COMMITTEE

June 4, 2015

5:30 p.m.

2nd Floor Council Chambers

1095 Duane Street • Astoria OR 97103

1. CALL TO ORDER
2. ROLL CALL
3. MINUTES
 - a. April 7, 2015
4. PUBLIC HEARINGS
 - a. Design Review DR15-03 by Wesley Houck for Steven & Cheryl Mazzuca to construct a 2,271 square foot single family dwelling at 275 29th Street within the Gateway Area in the AH-MP, Attached Housing-Mill Pond zone. Staff recommends approval with conditions.
5. REPORT OF OFFICERS
6. ADJOURNMENT

**THIS MEETING IS ACCESSIBLE TO THE DISABLED. AN INTERPRETER
FOR THE HEARING IMPAIRED MAY BE REQUESTED UNDER THE TERMS
OF ORS 192.630 BY CONTACTING SHERRI WILLIAMS, COMMUNITY
DEVELOPMENT DEPARTMENT, 503-338-5183.**

DESIGN REVIEW COMMITTEE
Astoria City Hall
March 5, 2015

CALL TO ORDER:

President Rickenbach called the meeting to order at 5:30 p.m.

INTRODUCTION OF NEW MEMBER:

The Commission welcomed new member, Hilarie Phelps.

ROLL CALL – ITEM 3:

Commissioners Present: Jared Rickenbach, LJ Gunderson, Hilarie Phelps, and Paul Tuter

Commissioners Absent: Derith Andrew

Staff Present: Interim Planner Mike Morgan

ELECTION OF OFFICERS – ITEM 4:

In accordance with Sections 1.110 and 1.115 of the Astoria Development Code, the Astoria Design Review Committee (ADRC) needs to elect officers for 2015. The 2014 officers were President Jared Rickenbach, Vice President LJ Gunderson, and Secretary Sherri Williams.

Vice President Gunderson moved to re-elect Jared Rickenbach as President, seconded by Commissioner Tuter. Motion passed unanimously. Ayes: President Rickenbach, Vice President Gunderson, Commissioners Phelps and Tuter. Nays: None.

Commissioner Tuter moved to re-elect LJ Gunderson as Vice President, seconded by Commissioner Gunderson. Motion passed unanimously. Ayes: President Rickenbach, Vice President Gunderson, Commissioners Phelps and Tuter. Nays: None.

President Rickenbach moved to re-elect Sherri Williams as Secretary, seconded by Commissioner Tuter. Motion passed unanimously. Ayes: President Rickenbach, Vice President Gunderson, Commissioners Phelps and Tuter. Nays: None.

The Commission proceeded to Item 6(a) Public Hearing DR15-02 at this time.

APPROVAL OF MINUTES – ITEM 5: February 5, 2015

This item was discussed immediately following Item 6(a): Public Hearing DR15-02.

Vice President Gunderson noted the following correction on Page 1 under Public Hearings: "President Rickenbach **Vice President Gunderson** explained the procedures..."

Vice President Gunderson called for approval of the minutes of the February 5, 2015 meeting, as corrected. Commissioner Tuter moved to approve the February 5, 2015 minutes as presented; seconded by Commissioner Andrew. Motion passed unanimously.

The Commission proceeded to Item 7: Reports of Officers/Commissioners.

PUBLIC HEARINGS:

President Rickenbach explained the procedures governing the conduct of public hearings to the audience and advised that the substantive review criteria were available from Staff.

ITEM 6(a):

DR15-02 Design Review DR15-02 by Patrick McGee, Patrick McGee Designs for Bradford & Margaret Gibson to construct a 2,903 square foot single family dwelling at 250 Roundhouse Road within the Gateway Area in the AH-MP, Attached Housing-Mill Pond zone.

This item was discussed immediately following Item 4: Election of Officers.

President Rickenbach asked if anyone objected to the jurisdiction of the Design Review Committee to hear this matter at this time. There were no objections. He asked if any member of the Design Review Committee had any conflicts of interest or ex parte contacts to declare.

President Rickenbach declared a potential conflict of interest being a general contractor. However, he had not been consulted on this project and did not believe there were any issues. He called for the Staff report.

Interim Planner Morgan reviewed the Findings and Conditions contained in the Staff report. He noted the agenda stated the building was to be 2,903 square feet. However, the Staff report states the building will be 2,800 square feet. After the application was submitted, the Applicant submitted new plans, which included a reduced size of the observatory. Therefore, the Staff report is correct. The Mill Pond Village Architectural Review Committee has reviewed the plans. No correspondence had been received; Staff recommended approval with conditions.

President Rickenbach opened the public hearing and called for testimony from the Applicant.

Patrick McGee, 697 34th Street, Astoria, said he was available to answer questions.

President Rickenbach called for testimony in favor of the application.

Helen Westbrook, 2860 Log Bronc Way, Astoria, Chair of the Mill Pond Architectural Committee, said the Committee reviewed revised plans for the home, which were received on February 19th. The Committee approved those plans with the condition that the lights above the overhead garage door remain on each side of the garage door, as indicated in the original plans. The Committee determined that the observatory is actually 208 square feet of exterior area. Mill Pond allows a maximum 200 square feet of exterior space, but granted the Applicant a variance for 208 square feet because unusual circumstances were caused by load factors, the spiral staircase, and general architectural design considerations. Mill Pond fully supports the revised plans.

President Rickenbach called for testimony impartial, or opposed to the application. Hearing none, he called for closing remarks from Staff. There were none. President Rickenbach closed the public hearing and called for Committee discussion and deliberation.

Commissioner Phelps confirmed that the plans submitted to Mill Pond were the same plans included in the Staff report. President Rickenbach added that Mill Pond's approved plans differed because they required the garage lights to be placed on either side of the garage door instead of centered over the door.

Mr. McGee noted the garage door had to be moved to the side due to some issues which was reflected on the plans before the Committee. The light fixtures were expensive and the owners were trying to cut back on expenses.

Vice President Gunderson liked the features on the home, which was beautiful and noted Mr. McGee has done other homes in the Mill Pond area with great success.

Vice President Gunderson moved the Design Review Committee adopt the Findings and Conclusions stated in the Staff report and approve Design Review DR15-02 by Patrick McGee with conditions; seconded by Commissioner Phelps. Motion passed unanimously. Ayes: President Rickenbach, Vice President Gunderson, Commissioners Phelps, and Tuter. Nays: None.

President Rickenbach read the rules of appeal into the record.

The Commission proceeded to Item 5: Approval of Minutes.

REPORTS OF OFFICERS/COMMISSIONERS – ITEM 7: No reports.

ADJOURNMENT:

There being no further business, the meeting was adjourned at 5:45 p.m.

ATTEST:

Secretary

APPROVED:

Planner

DRAFT

STAFF REPORT AND FINDINGS OF FACT

May 26, 2014

TO: Design Review Committee

FROM: Mike Morgan, Interim Planner

SUBJECT: Design Review Request (DR15-03) by Wesley Houck for Steven and Cheryl Mazzuca to construct a single-family dwelling at 275 29th Street

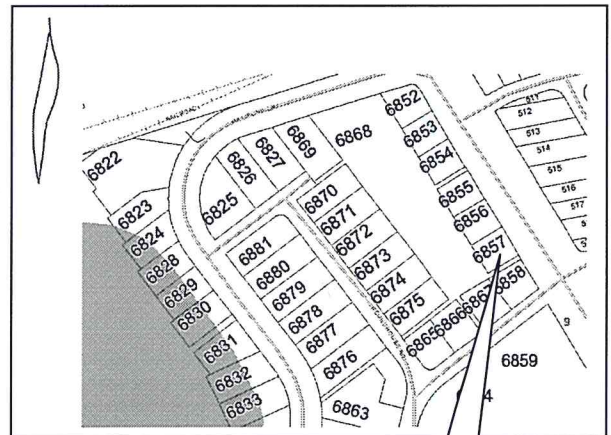
I. BACKGROUND SUMMARY

- A. Applicant: Wesley Houck
835 Avenue S, Suite E
Seaside, Oregon 97138
- B. Owner: Steven and Cheryl Mazzuca
2724 Glen More Street
Kelso, WA 98626
- C. Location: 275 29th St.; Map T8N-R9W Section 9CB, Tax Lot 6857; Lot 53,
Mill Pond Village
- D. Zone: AH-MP (Attached Housing-Mill Pond)
- E. Proposal: To construct an approximate 2,271 square foot, 3 story, single-family dwelling with garage

II. BACKGROUND

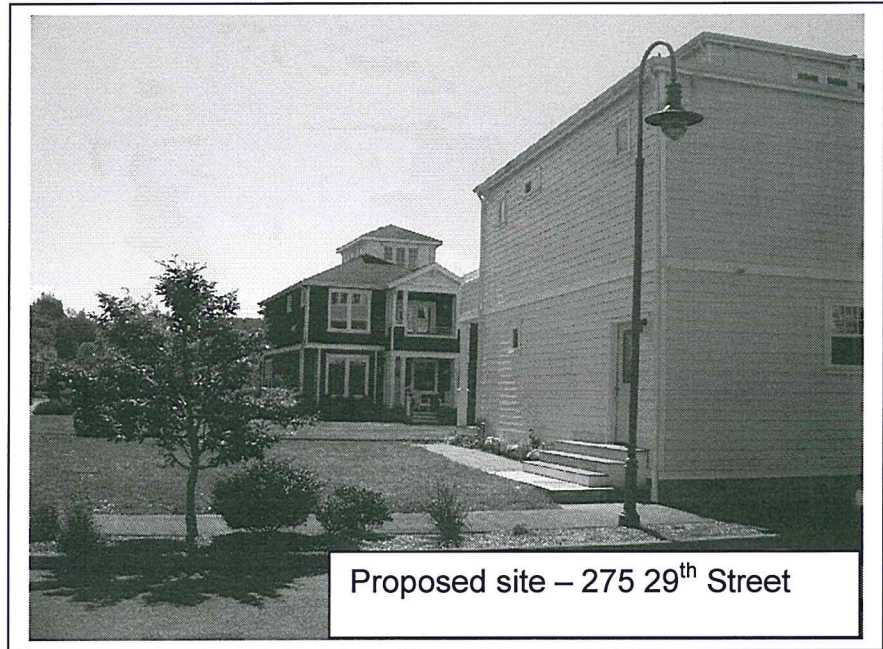
Site:

The site is located on the west side of 29th Street on the eastern edge of the village green. Lot 53 is 37' wide by 40' deep (1,480 square feet). All of the lots along 29th Street are similarly sized. After this lot is developed, there will only be one vacant lot (6858) on the Length of 29th Street.



Proposed
location

The Mill Pond Subdivision development was approved with special conditions concerning the required setbacks relative to Building Codes. The requirement is that one side could have a zero setback while the other side yard has a mandatory 6' setback with no encroachments. These plans show a 6' setback on the south elevation, and a 4' setback on the north elevation. The east wall of the house is 6" from the property line, and the west elevation is 6' from the property line. The dimensions of the lot are 37' by 40', or 1,480 square feet.



Proposed Construction:

The applicant has submitted plans for review and approval of the design to the Mill Pond Village Architectural Review Committee. Their review is pending.

Style: 3 story, single family-dwelling with garage

Roof: Gable roof with front gables over the porches; 6:12 pitch on the main gable and 10:12 pitch on the front gable over the porch. There is a short hip gable over the garage and rear entry on the east side of the house. Roof elevations/components; composition shingle, onyx black.

Siding: First level, horizontal, smooth fiber cement boards with 6" reveal, and fiber cement board and wood battens on the second floor, and fiber cement shingles on the third floor; 5.5" x 3/4" corner boards

Windows: Vinyl white Millgard windows Tuscan series. Mostly vertical, with true divided lights. Sets of three vertical windows on front; windows vary on each elevation

Rear Garage: 18' x 8' Wayne Dalton door with divided lites above.

Doors: Fiberglass painted Benjamin Moore Caliente AF-290 on first floor front and rear. French divided lite doors on front 2nd floor porch, single divided lite door on third floor.

Other Design Elements: corner boards of 5.5" x 3/4" or larger; belt course between floors; front covered porches on all three floors; support columns with crown and base for covered front porches; balustrade on 2nd and 3rd story front porches with upper and lower rails and vertical balusters;

Garage: South, rear facing garage; door will be steel panel, overhead door with multi-lites above

Light Fixtures: Lights proposed on porches, at doors on rear and north elevation of garage; on both sides of garage door on rear; and on a pole on the front elevation. Everstone Lighting; proposed fixtures to have diffused lighting

III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on May 8, 2015. A notice of public hearing was published in the Daily Astorian on May 28th, 2015. Any comments received will be made available at the Design Review Committee (DRC) meeting.

IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 14.015(A) states that in addition to conformance with the specific uses and standards of the individual zones, the following zones shall conform to the general regulations of the Gateway Overlay Zone in Sections 14.005 through 14.030. 1) Maritime Heritage; 2) Family Activities; 3) Attached Housing-Health Care; 4) Health Care; 5) Education/Research/ Health Care Campus; 6) Hospitality/Recreation; 7) Local Service; and 8) Attached Housing-Mill Pond.

Finding: The site of the proposed single-family dwelling is located in the Attached Housing-Mill Pond Zone (AH-MP) and shall conform to Sections 14.005 through 14.030 of the Development Code. This criteria is met.

- B. Section 14.015(B) requires that each public or private development proposal within the Gateway Overlay Zone will be reviewed for consistency with the Design Review Guidelines in Sections 14.020 through 14.030.

Finding: The proposed single-family dwelling is a private development to be constructed within the Gateway Overlay Zone and as such will be reviewed for consistency with the Design Review Guidelines. This criteria is met.

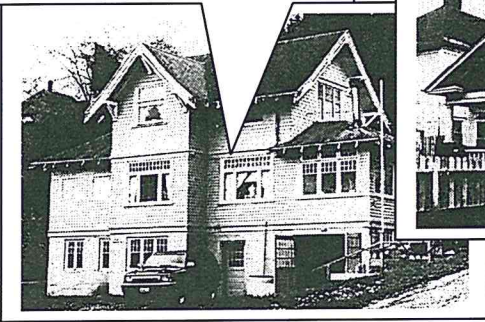
- C. Section 14.020 states that the Design Review Guidelines shall apply to all new construction or major renovation. The guidelines are intended to provide fundamental principles that will assist in the review of the proposed development. The principles identify both "encouraged" and "discouraged" architectural elements. They are broad design objectives and are not to be construed as prescriptive standards.

Finding: The structure is “new construction” and as such is subject to the Design Review Guidelines. This criteria is met.

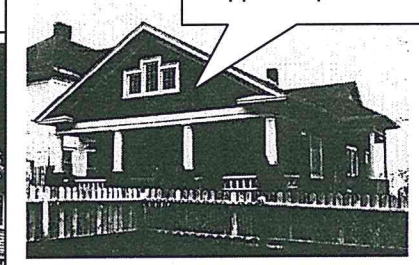
- D. Section 14.025(A) describes the purpose of the Design Review Guidelines and states that the Gateway Plan encourages new construction to reflect building types found in the Uppertown area. Three historic building types commonly found in the area include waterfront industrial, commercial, and residential.

Finding: The structure reflects residential types found in the Uppertown area. It has a 6:12 pitch gable roof, simulated multi-lite windows, and front porch with column supported second and third story porches. The horizontal siding, shingle, and board and batten siding are typically found in Astoria. There are decorative belt courses between floors and corner boards. The rear elevation facing 29th Street has a decorative garage door and entry. These are features commonly found in Astoria. This guideline is met.

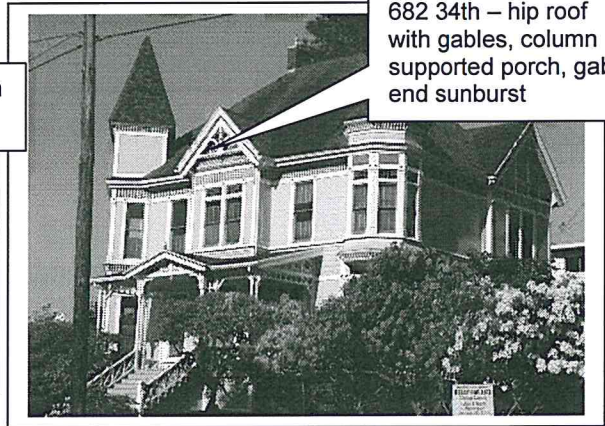
730 29th – multi-lite windows in varying combinations



3356 Grand – column supported porch



682 34th – hip roof with gables, column supported porch, gable end sunburst



- E. Section 14.025(B) identifies the building forms encouraged.
1. All Building Types: a) Simple designs without extraneous details; b) Rectangular in plan; c) Square in plan.
 2. Waterfront Industrial: a) Low in form; b) Cubic in form.
 3. Commercial: a) Low in form.
 4. Residential: a) Vertical in form; b) Cubic in form; c) Full front porch or front porch large enough to accommodate several seated persons.

Section 14.025(C) identifies the building forms discouraged.

1. All Building Types: a) Complex building footprints; b) Sprawling structures.

Finding: The house will be generally rectangle in plan. The building footprint is not complex, nor is it sprawling. The building has a front porch and decks on both levels above. The west side elevation will have a 6' setback as required. No encroachments would be allowed into the required 6' setback.

F. Section 14.025(D) identifies the windows encouraged.

Residential: a) Vertical rectangle or square windows; b) Combination of single and multiple-light windows; c) Single windows, paired windows, or windows grouped in threes; d) Bay windows; e) Arched or decorative shaped windows used sparingly; f) Windows should use casings and crown moldings.

Section 14.025(E) identifies windows discouraged.

1. All Building Types: a) Applied muntins which have no profile; b) Smoked glass; c) Mirrored glass; d) Horizontal sliding windows; e) Walls predominated by large expanses of glass, except in commercial storefronts; f) Windowless walls. Large expanses of blank walls should only be located in areas which are not visible to the public; g) Aluminum frame windows, except in commercial storefronts.

Finding: All windows are vinyl and are fixed or casement. The windows are mostly rectangular and vertical, single, paired and triple. Front porches have simulated multi-lite and multi lite doors. All lites must be true divided or have external muntins. There is a garden window on the rear portion of the main structure. Windows should be inset from the plane of the façade. There are no blank walls.

Window and door exterior casings proposed to be 5.5" x 3/4" or larger with crown and lower sill and shall protrude beyond the plane of the siding.

Therma-True doors with one door with upper and side lite on 1st floor front; double single lite French doors on front 2nd and 3rd floor porches; single lite panel door on rear 1st and 2nd floor and on north elevation of garage 1st and 2nd floor. Garage door will be steel panel, overhead door with multi-lites above.

The window divisions are proposed to have exterior muntins. The front elevation has three large areas of windows of less than 50% of the facade. Window area does not exceed wall area. This guideline is met.

G. Section 14.025(F) identifies exterior wall treatments encouraged.

1. All Building Types: a) Drop siding; b) Weatherboard siding; c) Horizontal siding with six inches or less exposure.

2. Waterfront Industrial: a) Board and batten style; b) Galvanized corrugated metal.
3. Commercial: a) Finished concrete; b) Brick veneer.
4. Residential: a) Clapboard; b) Wood shingle (rectangular); c) Decorative wood shingle.

Section 14.025(G) identifies exterior wall treatments discouraged.

1. All Building Types: a) Exposed textured, concrete block; b) Flagstone or other applied stone products; c) Precast concrete or decorative concrete panels; d) Wood shakes; e) Plywood paneling.

Finding: The structure is proposed to be clad in horizontal fiber cement boards with 6" reveal on 1st floors, fiber cement board and batten on the 2nd floor and shingles on 3rd floor. The exposure is encouraged to be 6" or less. Mill Pond Village Architectural Guidelines (MPVAG) require a maximum of 5.5" exposure, so the proposed exposure would need to be reviewed and approved by the MPVAG or reduced. Fiber cement siding shall be smooth, not textured. There would be 5.5" x 3/4" corner boards. In balance, this guideline is met.

H. Section 14.025(H) identifies the roof elements encouraged.

1. Waterfront Industrial: a) Single gable with low pitch; b) Repetitive gable with steep pitch; c) Shallow eaves; d) Small shed roof dormers; e) Monitor roof on ridge line; f) Flat panel skylights or roof window.
2. Commercial: a) Single gable with low pitch; b) Repetitive gable with steep pitch; c) Shallow eaves behind parapet wall; d) Flat or gable roof behind parapet wall; e) Structural skylights.
3. Residential: a) Steep gable with broad eaves; b) Steep hip with broad eaves; c) Dormers with gable, hip, or shed roofs; d) Flat panel skylights or roof window on secondary elevations; e) Turrets or large projecting window bays used sparingly.

Section 14.025 (I) identifies the roofing elements discouraged.

1. All Building Types: a) False mansard or other applied forms; b) Dome skylights.

Finding: Eaves including gutters are proposed on all elevations of the house with an approximate 1' eave overhang. The would be a 6:12 pitch with 10:12 pitch gable roof. The residential design generally calls for a deeper eave, but shallower eaves have been approved. In balance, this guideline is met.

I. Section 14.025(J) identifies roofing materials encouraged.

1. All Building Types: a) Cedar shingle; b) Composition roofing; c) Roofing material in gray, brown, black, deep red, or other subdued colors.
2. Waterfront Industrial: a) Galvanized corrugated metal; b) Low profile standing seam, metal roof; c) Roll down.
3. Commercial: a) Built-up.

Section 14.025(K) identifies roofing materials discouraged.

1. All Building Types: a) High profile standing seam, metal roof; b) Brightly colored roofing material.

Finding: The roofing material proposed is architectural composition roof shingles. The proposed color is Black Onyx. This guideline is met.

J. Section 14.025(L) identifies signs encouraged.

1. All Building Types: a) Hanging blade signs; b) Signs painted on building facade; c) Signs applied to building facade; d) Front lit; e) Graphics historic in character.
2. Commercial: a) Exterior neon.

Section 14.025(M) identifies signs discouraged.

1. All Building Types: a) Pole mounted freestanding signs; b) Plastic or internal and back lit plastic.

Finding: No signs are proposed for the site. This guideline does not apply.

K. Section 14.025(N) identifies exterior lighting encouraged.

1. All Building Types: a) Decorative lighting integrated with architecture; b) Metal halide or incandescent; c) Pedestrian and traffic signals combined with street lamps; d) Light fixtures that direct light downward and eliminate glare.
2. Waterfront Industrial: a) Industrial pan light with goose neck; b) Low bollard lighting.
3. Commercial: a) Historic street lamps along walks and parking lots.

Section 14.025(O) identifies exterior lighting discouraged.

1. All Building Types: a) Sodium vapor (amber); b) Fluorescent tube; c) Cobra head street lamps or other contemporary fixtures; d) Fixtures with undiffused, undirected light that do not focus the light to the ground and that will potentially destroy the night sky view.

Finding: Exterior light fixtures are proposed only on the rear on either side of the garage door. It must be downcast and subdued. This guideline is met.

- L. Section 14.025(P) identifies other design elements encouraged.

1. Commercial: a) Canvas awnings or fixed canopies for rain protection.

Section 14.025(Q) identifies other design elements discouraged.

2. Commercial: a) Vinyl awnings; b) Back lit awnings.

Finding: No awnings or canopies are proposed for this structure. This guideline does not apply.

- M. Section 14.030(A)(1) concerning building orientation states that development projects should form visually continuous, pedestrian-oriented street fronts with no vehicle use area between building faces and the street. Exceptions to this requirement may be allowed to form an outdoor space such as a plaza, courtyard, patio, or garden between a building and a sidewalk. Such a larger front yard area should have landscaping, low walls, fencing, railings, a tree canopy, or other site improvements.

Finding: The proposed project fronts onto the green space area, and is placed close to the sidewalk which creates an intimate relationship to the streetscape and surrounding development. This criteria is met.

- N. Section 14.030(A)(2) concerning building orientation states that new uses should be sited to take advantage of the Columbia River and hillside views.

Finding: The siting and design of the proposed project primarily takes advantage of the Columbia River view. This criteria is met.

- O. Section 14.030(A)(3) concerning building orientation states that if the proposed project is large or situated so as to become an entrance or major focus of the City, the design should recognize the project's prominence and should be both compatible with its surroundings and complementary to the City as a whole.

Finding: The proposed project is typical with most of the other residential buildings. It will be close in size to other houses at Mill Pond. The front of the structure may be visible from the City River Trail and will have a variety of form and texture similar to other structures in the residential areas of Astoria. This criteria is met.

- P. Section 14.030(B)(1) concerning building massing states that buildings should have a floor area ratio on their lots of at least 1:1 (One square foot of building area for one square foot of lot area), in order to maximize use of the land.

Finding: The lot area is approximately 1480 square feet. The total square footage of the house including garage is approximately 2271 square feet. The ratio exceeds 1:1 and meets the minimum floor ratio.

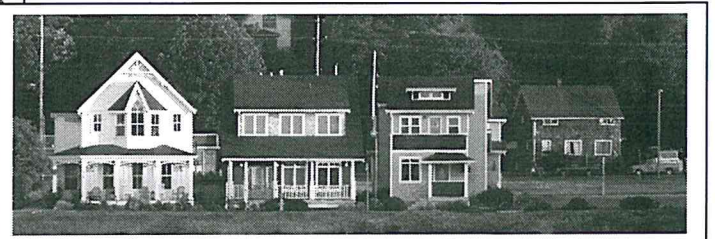
- Q. Section 14.030(B)(2) concerning building massing states that *"Buildings should be a minimum of 24 feet in height from grade to highest point of the structure, excluding those features exempt from building height as identified in Development Code Section 3.075."*

Section 14.335 concerning height in the AH-MP Zone states that *"No structure will exceed a height of 35 feet above grade, with exception of structures on lots with frontage on Marine Drive and on Lot 47 in Mill Pond Village Subdivision, having frontage on 29th and Waterfront Streets, which are limited to a maximum height of 45 feet above grade."*

Finding: The structure measures approximately 35' in height, measured from grade to the highest ridge of the structure. The Development Code calculates height to the midpoint between the eave and ridge of the highest roof and therefore the actual height of the building to relative this code is approximately 31.5'. This criteria is met.

- R. Section 14.030(B)(3) concerning building massing states that the height, mass, and scale of buildings should be compatible with the site and adjacent buildings. Use of materials should promote harmony with surrounding historic structures and the character of the waterfront.

Finding: There are one, two, and three story residential buildings in the Uppertown area. Buildings in Mill Pond Village include one, two, 2.5, and three story structures. The proposed structure is 3 stories. Structures in the Uppertown area have a mixture of wood, cement, and fiber cement siding. New residences in Mill Pond have a mixture of wood and fiber cement siding. The use of fiber cement horizontal, shingle, and board and batten siding materials is characteristic of and harmonious with the buildings in the surrounding area and the character of the waterfront.



V. CONCLUSION AND RECOMMENDATION

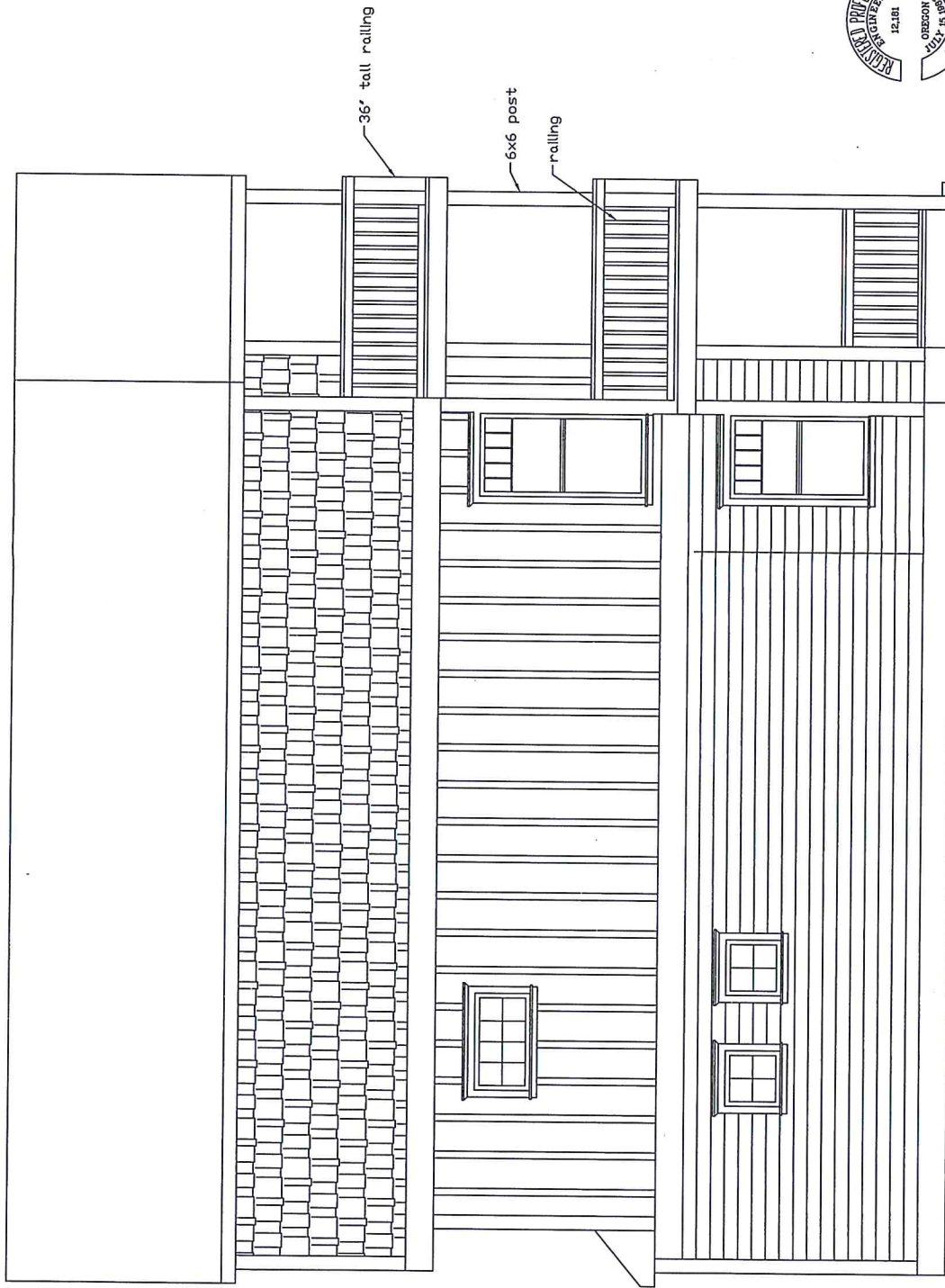
The request meets the design objectives of the Design Review Guidelines. The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building codes permits.

Any change in design or material shall be submitted to the Community Development Department for review.

Staff recommends the Design Review Committee approve the proposal with the following conditions:

1. There shall be no encroachments into the required 6' side setback.
2. Windows and casings shall be installed so that the windows do not protrude beyond the casing; and so that the casing protrudes beyond the plane of the siding. Any windows with grids shall be true divided or shall have external grids.
3. Exterior light fixtures shall have diffused and downcast lighting.



North Elevation

Evergreen Construction
Astoria, Or
Wesley Houck
503-440-0006
wesleyhouck@live.com

New Residence
Lot 53 Mill Pond
Astoria, Oregon

Steven & Cheryl Mazzuca



Mead
Engineering LLC

89643 OCEAN DRIVE
WARRENTON, OREGON 97146

Ph. 503-738-2538
Email: mark@meadeng.com

EXPIRES 12/31/2015
28 Oct. 2014
12/30/2014
3/27/2015
4/14/2015

Scale 1/4"=1'

zoning AH-MP
height limit 35'
setbacks required none

STRUCTURAL GENERAL NOTES

LIVE LOADS
ROOF-----25 PSF
FLOOR -----40 PSF HOUSE
WIND-----135mph EXPOSURE D
SEISMIC----- ZONE D WIND WILL CONTROL OVER SEISMIC

CONCRETE DESIGN STRENGTH USED IS 2500 psi CONTRACTOR TO POUR 3000 psi MIX WITH NO SPECIAL INSPECTION OR TESTING REQUIRED
WOOD IN CONTACT WITH EARTH OR CONCRETE SHALL BE PRESSURE TREATED HEM-FIR AS RECOMMENDED BY THE MANUFACTURE FOR GROUND CONTACT.

GLUED LAMINATED BEAMS SHALL BE AITC COMBINATION 24F-V4, F=2400, E=1800000, 1-1/2" LAMINATIONS, CAMBERED TO A 1600 FT. RADIUS, INDUSTRIAL FINISH, EXTERIOR GLUE WITH SEALED ENDS, DELIVER AND STORE IN WEATHERPROOF WRAPPERS. PROVIDE AN AITC CERTIFICATE STATING THAT FABRICATION WAS PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS. KING BEAMS TO BE 30F-E4 IF/SP AS PRODUCED BY BOISE CASCADE OR EQUAL

Concrete cover shall be:
Footing bottom....3"
WALL AGAINST EARTH....2"
WALL TO THE WEATHER....1 1/2"
SLABS....3/4"
BEAMS & COLUMNS (TO TIES)....1 1/2"

BEARING WALL FRAMING
SHALL BE 2x STUDS AT 16" ON CENTER UNLESS NOTED OTHERWISE. ALL DOOR AND WINDOW HEADERS NOT CALLED OUT SHALL BE 2-2x8 WITH CRIPPLE AND ONE STUD EACH END FOR OPENINGS 4'-0" WIDE OR LESS, AND TWO CRIPPLES AND ONE STUD FOR OPENINGS MORE THAN 4'-0" WIDE. ALL COLUMNS NOT CALLED OUT SHALL BE TWO STUDS SPLIKED AT 16" ON CENTER WITH 16d NAILS. PROVIDED ONE LAYER OF 40# ASPHALT IMPREGNATED BUILDING PAPER AT CONTACT SURFACES BETWEEN WOOD COLUMNS AND CONCRETE OR MASONRY, OR USE PRESSURE TREATED LUMBER. NAILS, BOLTS, NUTS, AND WASHERS SHALL BE HOT DIPPED GALVANIZED

FRAMING CONNECTORS SHALL BE SIMPSON STRONG-TIE OR EQUAL
MISCELLANEOUS
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
WINDOWS TO BE THERMO PAIN VINYL.
ALL CONSTRUCTION TO MEET THE STATE OF OREGON BUILDING CODES.
ENGINEER TO PERFORM THE FOLLOWING CONSTRUCTION OBSERVATIONS
1. SOIL & FOOTING FORMS
2. HOLD DOWN
3. FRAMING AFTER PLUMBING, ELECTRICAL & HEATING INSTALLED
DEFERRED DOCUMENTS:
TRUSS DRAWINGS

New Residence
Lot 53 Mill Pond
Astoria, Oregon

Steven & Cheryl Mazzuca



Meach Engineering LLC
89643 OCEAN DRIVE
WARRENTON, OREGON 97146

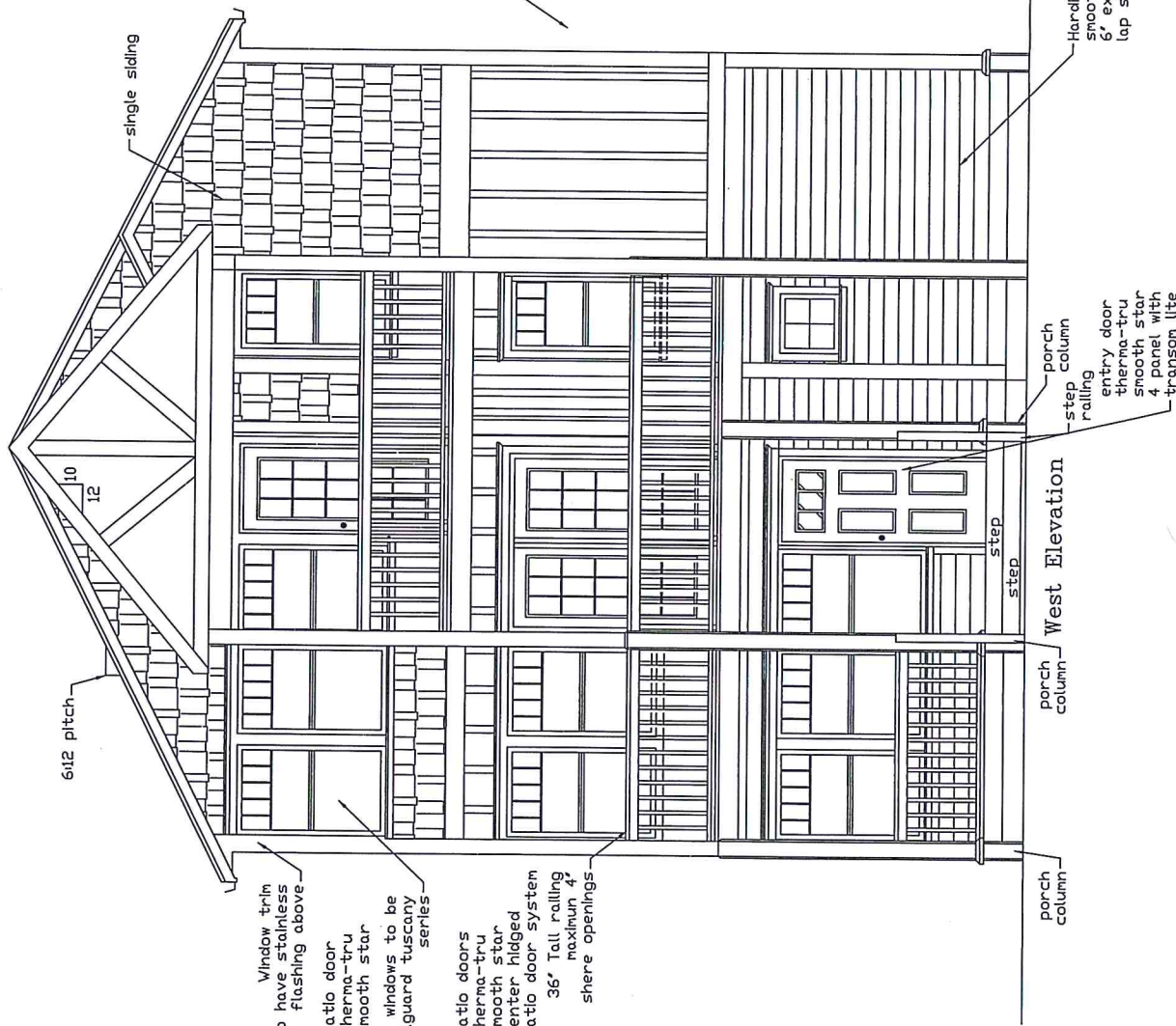
Evergreen Construction
Astoria, Or

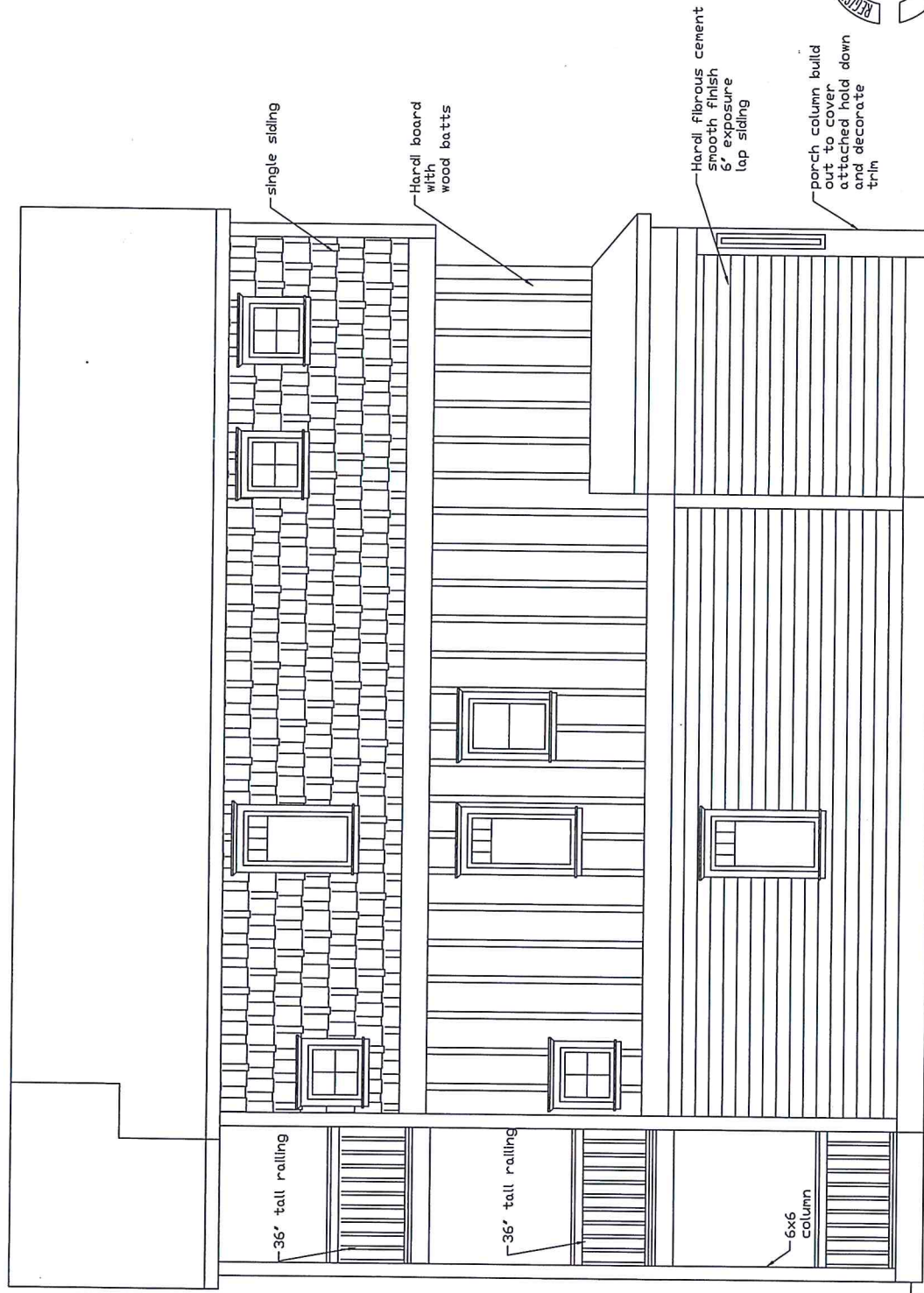
Wesley Houck
503-440-0006
wesleyhouck@live.com

EXPIRES 12/31/2015
28 Oct 2014
12/30/2014
3/27/2015
4/14/2015

Ph. 503-738-2538
Email: mark@meadeng.com

Scale 1/4"=1'





South Elevation

New Residence
Lot 53 Mill Pond
Astoria, Oregon

Steven & Cheryl Mazzuca



Mead
Engineering LLC

89643 OCEAN DRIVE
WARRENTON, OREGON 97146

Ph. 503-738-2538

Email: mark@meadeng.com

Scale 1/4"=1'



Evergreen Construction

Astoria, Or

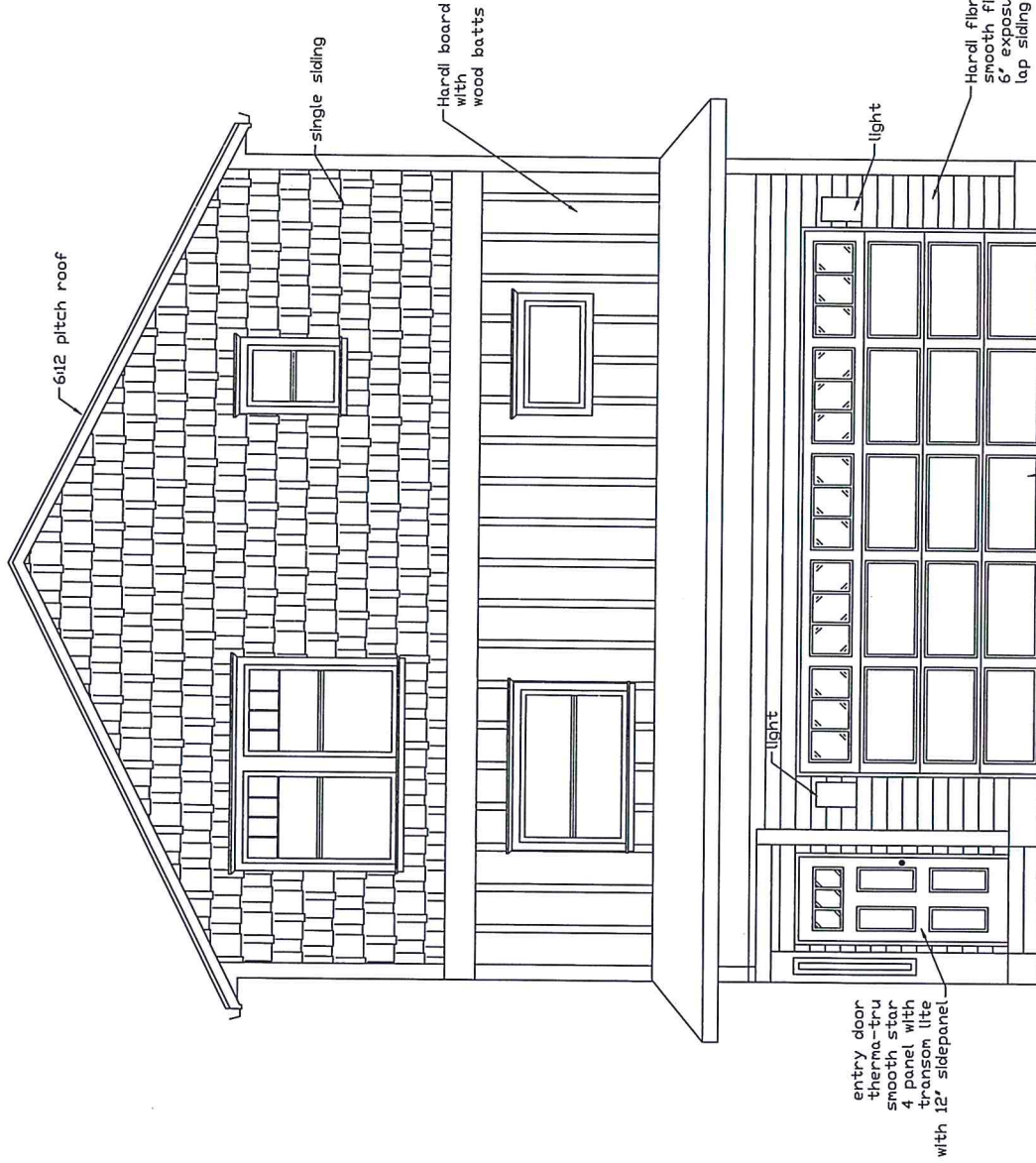
Wesley Houck

503-440-0006

wesleyhouck@live.com

Sheet

Sheet	Description
1	Cover Sheet & Exterior Elevation Street Side
2	Exterior Elevation South
3	Exterior Elevation West Front Side
4	Exterior Elevations North Side
5	First Floor Plan
6	Second Floor Plan
7	Third Floor Plan
8	Foundation
9	First Floor Joist and Beams
10	Second Floor Joist and Beams
11	Third Floor Joist and Beams
12	Roof Truss Layout
13	Cross Section
14	Truss Sections and Window Flashing
15	West Wall Framing Detail
16	Site Plan
FS-1	Fire Sprinkler Cover Sheet
FS-2	Fire Sprinkler Plan First Floor
FS-3	Fire Sprinkler Plan Second Floor
FS-4	Fire Sprinkler Plan Third Floor



See contractors list for exterior colors and lighting fixtures

DEFERRED DOCUMENTS:
TRUSS DRAWINGS

New Residence
Lot 53 Mill Pond
Astoria, Oregon

Steven & Cheryl Mazzuca



Mead
Engineering LLC

89643 OCEAN DRIVE
WARRENTON, OREGON 97146

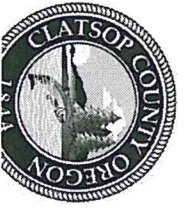
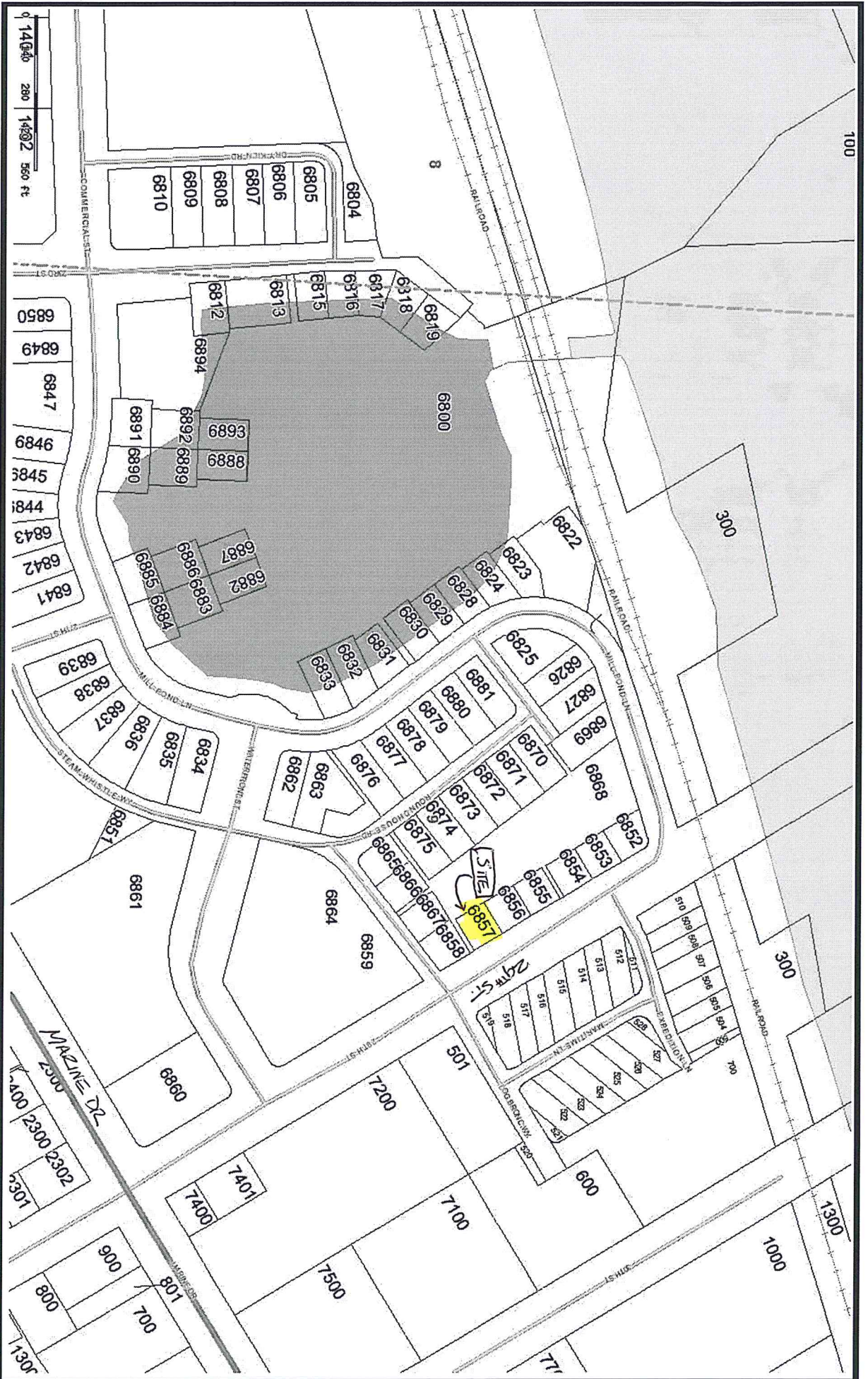
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East Elevation

EXPIRES 12/31/2016
28 Dec 2014
12/30/2014
3/27/2015
4/14/2015

Scale 1/4"=1'

Map



Clatsop County Webmaps

Disclaimer: This map was produced using Clatsop County GIS data. The GIS data is maintained by the County to support its governmental activities. This map should not be used for survey or engineering purposes. The County is not responsible for any errors or omissions. The County is not responsible for any errors or omissions. The County is not responsible for any errors or omissions.





CITY OF ASTORIA
Founded 1811 • Incorporated 1856
COMMUNITY DEVELOPMENT

BUILDING CODES

APR 24 2015

CITY OF ASTORIA

pd - ck

DR 15-03

Fee: \$250.00

DESIGN REVIEW

Property Address: 275 - 29th St

Lot 53 Block - Subdivision ~~MP~~ MP

Map 9CB Tax Lot 6857 Zone AH-MP

Applicant Name: WESLEY HOUCK

Mailing Address: 835 AVE S, SUITE E, SEASIDE, OR 97138

Phone 503-717-5555 Email: EVERGREENCONSTRUCTION@HOTMAIL.COM

Property Owner's Name: STEVEN & CHERYL MAZZUCA

Mailing Address: 2724 GLEN MORE ST KELSO, WA 98626

Phone: (360) 560-5124 Email: SANDLMAZZUCA@YAHOO.COM

Signature of Applicant: *[Signature]* Date: 3/2/15

Signature of Property Owner _____ Date: _____

Proposed Construction: ~~NEW~~ CONSTRUCTION of 2271 SF SFD

Site Dimensions & Square Footage: 33'6" x 29' 2271 Sq Ft + GARAGE 435 = 2271

Building Square Footage: 1st Floor: 435 2nd & 3rd Floor: 896/940 Garage: 435

Accessory Building Information: N/A

FILING INFORMATION: The Design Review Committee meets on the first Thursday of the month, as needed depending on date of applications. Complete applications must be received by the 23rd of each month. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. Only complete applications will be scheduled on the agenda. Your attendance at the Design Review Committee meeting is recommended.

For office use only:

Application Complete:		Permit Info Into D-Base:	<u>5-5-15</u>
Labels Prepared:	<u>5/5/15</u>	Tentative DRC Meeting Date:	<u>6-4-15</u>
120 Days:			

All information concerning construction materials, design, dimensions, etc. is REQUIRED. If submitting large format plans, please also submit a reduced copy at 11" x 17" for reproducing.

Briefly address each of the Design Review Guidelines and state whether the project complies with the guideline, if applicable, and why this request should be approved. Please provide manufacturer information and/or detailed information for use of any material or design not selected from the "Encouraged" list in the Design Guidelines. (Use additional sheets if necessary.):

1. **Building Form.**

Basic Shape: SQUARE WITH ARCHITECTURAL BREAKS / DORMERS / BUMP OUTS

Porches & Balustrade - Design, Dimension, Features, Materials: PRE-PRIMED EXTERIOR MATERIAL, WILL BE 2x2 Balustrades WITH 2x6 TOP RAIL -

Balconies & Balustrade - Design, Dimension, Features, Materials: SAME - 2x2 BAL, 2x4 SHOE RAIL, 2x6 TOP RAIL, 4x4 Posts - all out of Primed CEDAR

Other: PAINTED WHITE WITH BENJAMIN MOORE "FROSTINE" AF-5 LOW SHEEN

2. **Windows.**

Material: VINYL MILLGARD WINDOWS - WHITE

Divided Windows (true divided, external muntins, etc): TRUE DIVIDE

Operation (casement, single hung, etc.): EVERY WINDOW WILL EITHER BE A PICTURE OR SINGLE HUNG WITH

Size & Material of Exterior Casings (minimum 5/4" x 4"; provide detail diagram): PICTURE FRAMED WITH 5/4x4" ON WINDOWS AND DOORS PRE-PRIME

Other: CYPRESS

3. **Exterior Wall Treatments.**

Material & Dimensions of Siding (note if material is smooth or textured): HARDY SHINGLES IN DORMERS, HARDY BAT BOARD ON 2nd LEVEL, 6" HARDY BEVEL ON 1st LEVEL

Decorative Features: OVER MASTER DECK WILL BE PRE-PRIMED WHITE-TEXTURE OPEN TRUSS BEAM WITH VAULTED CEILING.

Other: EYE BROW OVER GARAGE DOOR, KNEE BRACES UNDER 3rd LEVEL BUMP OUT ABOVE GARAGE DOOR.

4. **Doors.**

Material & Design: FIBER GLASS EXTERIOR DOORS - SMOOTH - PAINTED COLOR IS BENJAMIN MOORE CALIENTE AF-290 FOR FIRST

Other: LEVEL ENTRIES. LEVELS 2 & 3 DOORS WILL MATCH MILLWORK COLOR

5. **Roof Elements.**

Style and Pitch of Roof: 6:12 PITCH (PERHAPS ROOM TO GO TO A 6:12) WITH ARCHITECTURAL ASPHALT SHINGLES.

Material: ASPHALT ARCHITECTURAL

Color: OWENS CORNING DURATION: ONYX BLACK

Decorative Features (eave brackets, etc): MATCHING RIDGE CAPS

Other: _____

6. **Garage.**
Garage Door Material & Design: POLYSTYRENE 3 LAYER CONSTRUCTION / SMOOTH
Window Material & Design: MADISON 611
Roof Style & Material: SAME AS THE REST OF HOUSE
Other: COLOR IS WHITE
7. **Signs.**
Dimension & Square footage: N/A
Location: _____
Type, Material & Design: _____
Other: _____
8. **Exterior Lighting.**
Fixture & Lamp Design: SURFACE MOUNTED LIGHT ON DECK SIDE,
Location: SEE CONSTRUCTION DRAWINGS
Other: BRIMFIELD 1-Light Outdoor Aged Iron Wall LANTERN
9. **Other Design Elements.**
(Fences, out buildings, corner boards, belt course, etc. with dimensions): FLOWER BEDS
SEE CONSTRUCTION DRAWS FOR AVAILABLE GREEN
SPACE. DESIGN TO BE DONE WITH LANDSCAPER & OWNERS
10. **Building Orientation.**

11. **Building Massing.**
Building to Lot Ratio: SEE CONSTRUCTION DRAWINGS
Other: _____
12. **Access and Parking Design.**
Number of Off-street Spaces: OFF-STREET IN TWO CAR GARAGE
Other: _____
13. **Landscaping.**
MOSTLY FLOWER BEDS - GRASS ON RIVERSIDE

14. **Underground Utilities.**
ALL UTILITIES WILL BE UNDER GROUND
-

PLANS: A site plan indicating location of the proposed structure on the property is required. Diagrams showing the proposed construction indicating style and type of materials proposed to be used are required. Scaled free-hand drawings are acceptable. The City may be able to provide some technical assistance on your proposal if it is adjacent to a historic structure and will require additional review by the Historic Landmarks Commission.

If submitting large format plans, please also submit a reduced copy at 11" x 17" for reproducing.

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rjohnson@astoria.or.us • www.astoria.or.us